

CITY OF MASON

201 West Ash St.
Mason, MI 48854-0370

City Hall 517-676-9155
Fax 517-676-1330

Historic District Commission Meeting – 2nd Floor Training Room Monday, July 27, 2015

7:00 p.m.

AGENDA

1. Call to Order
2. Roll Call
3. Approval of Minutes – Meeting of June 22, 2015
4. People from the Floor
5. Announcements
6. Introductions
7. Regular Business
 - A. 106 E. Ash St. – Façade
 - B. Discussion – Historic Resource Inventory
8. Unfinished Business
9. New Business
10. Correspondence
11. Liaison Reports
12. Administrator's Report
13. Adjournment

**CITY OF MASON
HISTORIC DISTRICT COMMISSION MEETING
MINUTES OF JUNE 22, 2015**

Clinton called the meeting to order at 7:00 p.m. in the 2nd floor Training Room at 201 W. Ash Street, Mason, Michigan.

Commissioner(s) Present: Jewett, Clinton, Cummings, Schulien, Shattuck, Vogel

Commissioner(s) Absent: Mulvany

Also present: David E. Haywood, Zoning & Development Director

APPROVAL OF MINUTES

The Meeting Minutes of May 26, 2015 were approved as presented.

PEOPLE FROM THE FLOOR

None.

ANNOUNCEMENTS

None.

REGULAR BUSINESS

131 E. Maple St.

Jackie Hoist, H2A Architects, introduced herself to the Commission. A lengthy discussion ensued with the Commission. Together the Ms. Hoist and Commissioners discussed the issue and made the following statements/comments relative to the proposed development project:

- Roofing for the addition will match existing (steel slate)
- Addition is to accommodate persons with disabilities and to provide an elevator
- Five windows will be replaced with look of existing (casement style to look like double-hung)
- None of the windows being replaced have stained glass
- Contractor will re-use stone and provide new to match
- They plan to begin in September 2015 and be finished by September 2016
- The project involves HVAC and electrical upgrades as well
- Addition will replace ramp and stairs

Motion by Schulien, second by Shattuck,

To approve the façade improvement proposal for the First Presbyterian Church located at 131 East Maple Street as submitted by Jackie Hoist, H2A Architects, based on the application received on June 18, 2015, on the basis that it is consistent with the standards listed in Section 31-5(e) of the Mason Code.

MOTION APPROVED UNANIMOUSLY

Historic Resource Inventory

Jewett indicated that there was nothing new to report.

UNFINISHED BUSINESS

None.

NEW BUSINESS

None.

CORRESPONDENCE

None.

LIAISON REPORTS

None.

ADMINISTRATOR'S REPORT

Haywood gave a brief report of the Zoning & Development Department business.

ADJOURNMENT

Being there was no further business, the meeting adjourned at approximately 7:35 p.m.

Deborah J. Cwiertniewicz, City Clerk

City of Mason

201 W. Ash St.
P.O. Box 370
Mason, MI 48854-0370
www.mason.mi.us



City Hall 517 676-9155
Police 517 676-2458
Fax 517 676-1330
TDD 1-800-649-3777

To: Historic District Commission

From: David E. Haywood, Zoning & Development Director
Thomas Girdwood, MSU Planning Intern

Re: 106 East Ash Street – Facade

Date: July 23, 2015

The owner of the corner section of The Lawrence Block Building is requesting approval to begin a multiphase plan to restore the façades of the corner entry, as well as the north, and west facades of the building. The building is site of the former Dart Insurance Company. The project is broken into multiple phases. The first phase includes the removal of the existing ceramic tiles, the second phase includes replacement of commercial storefront windows, lintel repair, and miscellaneous brick work. The final phase includes the repair of the damaged/deteriorated brick and limestone masonry that is currently hidden by the existing ceramic tiles.

Section 31-5(a) requires that a permit be obtained for work "...performed within a historic district affecting the exterior appearance of a resource...". The subject property is located within the Mason Historic District. The applicant is, therefore, requesting Historic District Commission approval.

Mason Main Street Façade Study

The Main Street Façade Study is the manual by which each building within the Mason Historic District is evaluated. The Study provides architectural consultation to the building owners and the Historic District Commission. The recommendations provided in the Study were based on the U.S. Secretary of the Interior's Standards for Rehabilitation.

The Lawrence Block, where the site stands, is a resource of historical significance. Its history and architectural description are provided on page 20 of the Study. Section 31-4(7) gives the Commission authority to regulate the exterior appearance of any historic or non-historic structure located within the District.

U.S. Secretary of the Interior's Standards for Rehabilitation

Section 31-5(d) states that the review of any application shall follow the U.S. Secretary of the Interior's Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings. Section 31-5(e) lists the discretionary standards that the Commission shall consider and are as follows:

1. *The historical or architectural value and significance of the structure and its relationship to the historical value of the surrounding area.*
2. *The relationship of the exterior architectural features of the structure to the rest of the structure and the surrounding area.*
3. *The general compatibility of exterior design, arrangement, texture, and materials proposed to be used.*
4. *Other factors, including aesthetic value, which the commission considers pertinent.*

Recommended Action

The Historic District Commission approve the Lawrence Building Façade Restoration at 106 East Ash Street as submitted by M K & G Properties LC, based on the application received on July 16, 2015, on the basis that it is consistent with the standards listed in Section 31-5(e) of the Mason Code.

Attachments:

1. Application
2. Project Description
3. Site & Building Plans
4. Page 20 of the Mason Main Street Façade Study



THE LAWRENCE BLOCK 100 - 120 East Ash Street 1898



HISTORY: Deriving its significance from both its late nineteenth-century architecture and its chain of occupants, this two-story business block may be the visually dominant commercial building in a downtown overshadowed by the elaborate courthouse. Henry W. Lawrence, a businessman from Maine, purchased this prime commercial property in 1895. In 1898, when a fire destroyed the buildings on the corner, Lawrence promptly rebuilt on the same site. The resulting brick block with restrained detailing is the largest commercial block in the downtown and sympathizes both with the more ornate Italianate structures and the modern construction. In 1907, two members of the Dart family, Rollin C. Dart and Gertrude Dart Campbell O'Sullivan, purchased the multi-use building; it has remained since then in the hands of the Dart family. The building has housed both the Dart Bank and Dart Insurance Agency.

ARCHITECTURAL DESCRIPTION: This two-story, brick commercial building of Romanesque Revival styling wraps around the corner of South Jefferson and East Ash. It features a flat roof with a balustrade articulated in shallow brickwork above a dentillated cornice. The second-story's arched windows have flat stone sills and simple curving brick caps. Massive brick pilasters separate each set of storefronts within their window bays above. The angled corner entrance sits between rounded brick columns that extend above the balustrade to hold an insert panel identifying the building's name and date of construction. The first-floor store fronts have been substantially altered on the north side, but the west facade ones retain most of their original appearance. An embossed tin ceiling still appears in a first-floor restaurant.



APPLICATION: MASTER BUILDING PERMIT

City of Mason

201 W. Ash Street • Mason, MI 48854 ♦ Phone: 517/676-9155 • Fax: 517/676-1330
www.mason.mi.us

I. APPLICANT INFORMATION

Name M K & G Properties, LC Organization _____
Address (Street, City, State, Zip) 106 East Ash, Mason, MI 48854
Telephone Number (517) 244-9100 Email address gary@wdmplc.com
Interest in Property (owner, contractor, tenant, option, etc.) Owner

II. PROJECT DESCRIPTION Project Name Lawrence Building Facade Restoration

Project Address 106 East Ash, Mason, MI 48854
Property Owner Name M K & G Properties, LC Telephone Number (517) 244-9100
Property Owner Address 106 East Ash, Mason, MI 48854

Written Description of Work (attach additional pages, if necessary)

See Attached

III. CONTRACTOR INFORMATION (If more than one contractor is working on the project, list all on separate sheet)

Valuation of Work 30,000.00 Contractor License No. 2102203886 Exp. Date 5/31/18
Name Community Building Services, LLC Telephone Number 517-604-6214
Address(Street, City, State, Zip) 4505 West Columbia, Mason, MI 48854
Email address CommunityBuildingServicesLLC@gmail.com

IV. FEEES ON REVERSE SIDE(DO NOT SEND FEE WITH APPLICATION – FEE WILL NOT BE ACCEPTED UNTIL PERMIT IS ISSUED – FEES SUBMITTED AT TIME OF APPLICATION WILL BE RETURNED)

V. APPLICATION MATERIALS ON REVERSE SIDE

APPLICANT CERTIFICATION

NOTICE: This permit becomes null and void if work or construction is not commenced within six months, or if work or construction is suspended or abandoned for a period of six months at any time after work is commenced. A true copy of the plans of said structure is attached. It is understood that all provisions of laws and ordinances governing this type of work will be complied with whether specified herein or not. The granting of a permit does not presume to give authority to violate or cancel the provisions of any other state or local law regulating construction or the performance of construction. "Section 23a of the Michigan Construction Code Act of 1972 (1972 PA 230, MCL 125.1523A) prohibits a person from conspiring to circumvent the licensing requirement of this State relating persons who are to perform work on a residential building or a residential structure. Violators of Section 23a are subject to civil fines." By execution of this application, the person signing represents that the information provided and the accompanying documentation is, to the best of his/her knowledge, true and accurate. In addition, the person signing represents that he or she is authorized and does hereby grant a right of entry to City officials for the purpose of inspecting the premises and uses thereon to verify compliance with the terms and conditions of any permit or approval issued as a result of this application.

Signature *Gary Norman* Date 7-15-15

IV. APPLICATION MATERIALS – Applicants should review Section 94-95 of the Mason Code for a complete listing of application requirements. Incomplete applications will not be processed. The following is a summary of materials that must accompany a completed building permit application:

- Completed application form
- Site plan, including the following (as necessary):
 - Boundary line survey
 - Location, setbacks, dimensions, and height of existing and proposed structures
 - The existing or intended use
 - The proposed number of sleeping rooms
 - Location of utility lines, wells, and septic drain fields
 - The yard, open space and parking area dimensions
- Street grades, proposed finished grades and contour changes (where changes are proposed)
- Location of regulated waterways, floodplains or wetlands
- **PLANS ON CD (COMMERCIAL PROJECTS ONLY)**
 - Legal description (as necessary)
 - Proof of ownership/owner authorization
 - Construction schedule for proposed project
 - Construction calculations for utilities
 - Any other information deemed necessary

V. FEES (DO NOT SEND FEE WITH APPLICATION – FEE WILL NOT BE ACCEPTED UNTIL PERMIT IS ISSUED – FEES SUBMITTED AT TIME OF APPLICATION WILL BE RETURNED)

- **Permit to move a building**
 - < 500sf \$125,
 - >500sf \$1,000
- **Permit for the excavation, the erection, addition, or alteration of any structure** \$50 (Minimum fee for the first \$5,000 of construction cost plus \$6 for each additional \$1,000 of construction cost)
- **Commercial Plan Review** \$100
- **Mfg Housing/Mobile Home Placement** \$125
- **Special Inspection/Re-inspection** \$50
- **Residential Razing Permit** \$150
- **Fee for construction without a permit** 1.5 times the permit charge
- **Roofing (roof-over only)** \$50
- **Re-roofing (tear off and new roof)** \$100
- **Siding permit** \$50

FOR DEPARTMENTAL USE ONLY

ZONING REVIEW

Zoning District _____ Existing Structure or Use: Conforming ___ Non-Conforming ___
 Proposed Structure or Use: Conforming ___ Non-Conforming ___ Variance Granted ___ Date _____
 Located in Flood Zone _____ FIRM Community Panel No. _____ Flood Zone _____
 Riverwalk Meadows/Cedar Street Suspense Assessment _____ Temple Street Special Assessment _____
 Historic District Commission Review Required: yes ___ no ___ Date Approved _____
 Approved ___ Denied ___ Official/Administrator _____ Date _____
 Special Conditions _____

BUILDING REVIEW

Sidwell No. _____ Assessed Value of Structure \$ _____
 Application Accepted By _____ Date _____ Permit No. _____
 Occupancy/Use Group _____ Code _____
 Soil Erosion Permit No. _____ Change of Use/New Use ___ Tap in Fee _____
 Building Permit Fee _____ Total Fee Received _____ Receipt No. _____
 Approved ___ Denied ___ Official/Administrator _____ Date _____
 Special Conditions: _____



H.W. Lawrence Block I Façade Restoration 100 East Ash

410 East Court Street, Flint, MI 48503. 810.238.9647 Primary Contact: Amanda Harrell-Seyburn, Assoc. AIA | Designer & Project Manager
www.sfarch.us amanda@sfarch.us | 810.238.9647

H.W. Lawrence Block: Façade Restoration 100 E. Ash Street | Project Description



100 E. Ash Street is the first floor corner commercial space of the H.W. Lawrence Block, a late nineteenth century building (built 1898) located at the corner of Ash and Jefferson on Courthouse Square in Downtown Mason, Michigan. This proposal outlines restoration plans for the three façades modified during the twentieth century. The intent of the proposal is to return the façades to the original 1898 aesthetic in accordance with the Mason Main Street Façade Study recommendations for the building.

The following façades are included in the scope of the proposal:

1. Corner Entry Façade.
2. North Façade
3. West Façade

Mason Main Street Façade Study | History:

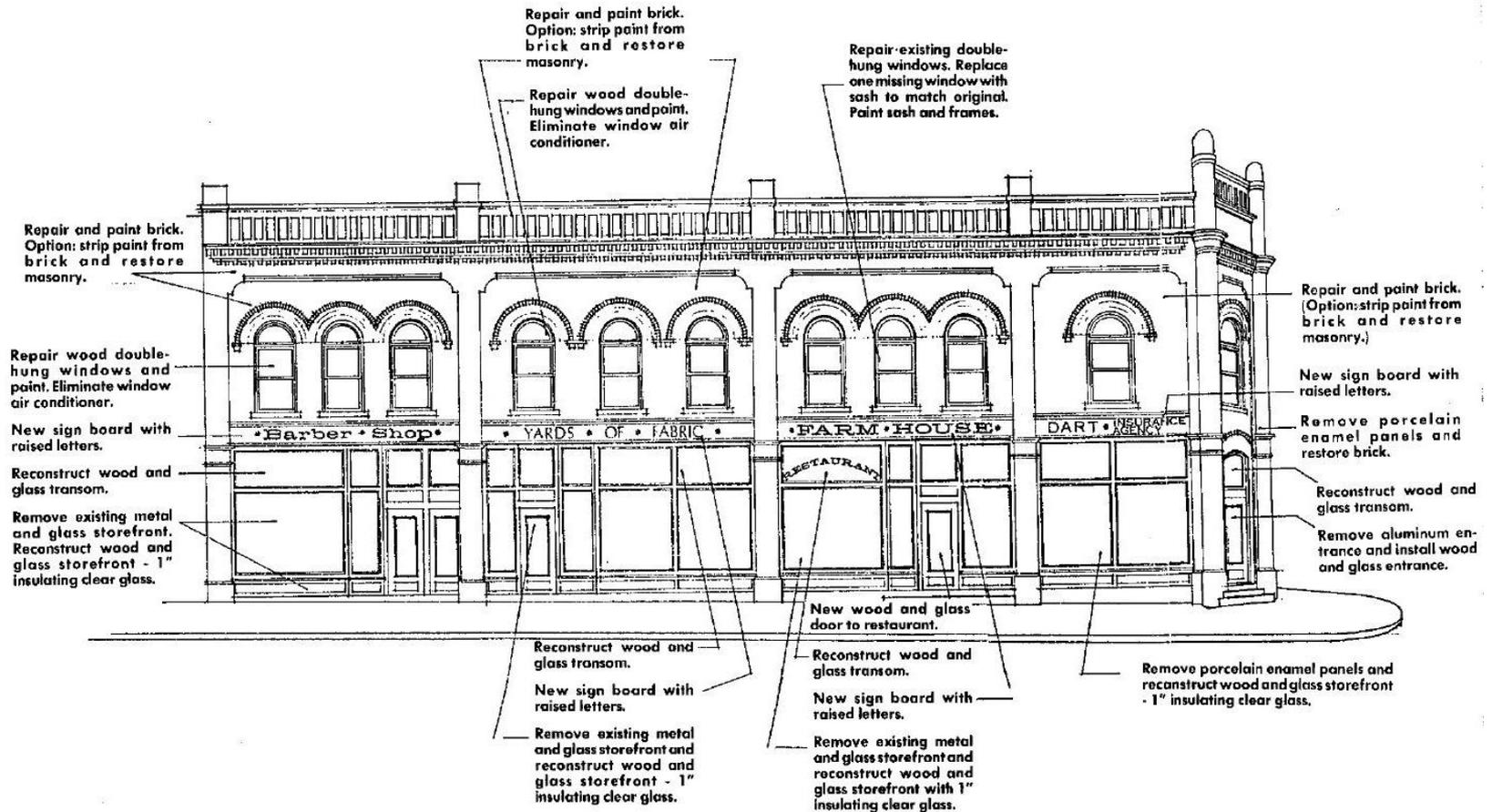
Deriving its significance from both its late nineteenth-century architecture and its chain of occupants, this two-story business block may be the visually dominant building in a downtown overshadowed by the elaborate courthouse. Henry W. Lawrence, a businessman from Maine, purchased this prime commercial property in 1895. In 1898, when a fire destroyed the buildings on the corner, Lawrence promptly rebuilt on the same site. The resulting brick block with restrained detailing is the largest commercial block in the downtown and sympathizes both with the more ornate Italianate structures and the modern construction. In 1907, two members of the Dart Family, Rollin C. Dart and Gertrude Dart Campbell O'Sullivan, purchased the multi-use building. The building has housed both the Dart Bank and Dart Insurance Agency.

Mason Main Street Façade Study | Architectural Description:

This two-story, brick commercial building of Romanesque Revival styling wraps around the corner of South Jefferson and East Ash. It features a flat roof with a balustrade articulated in shallow brickwork above a dentillated cornice. The second-story's arched windows have flat stone sills and simple curving brick caps. Massive brick pilasters separate each set of storefronts within their window bays above. The angled corner entrance sits between rounded brick columns that extend above the balustrade to hold an insert panel identifying the building's name and date of construction. The first-floor storefronts have been substantially altered on the north side, but the west façade ones retain most of their original appearance.

H.W. Lawrence Block: Façade Restoration 100 E. Ash Street | Project Description

Graphic: Mason Main Street Façade Study of the H.W. Lawrence Block.



H.W. Lawrence Block: Façade Restoration 100 E. Ash Street | Project Description

Façade Modifications

The brick and limestone façades of 100 E. Ash have experienced two significant modifications that altered the look of the historic facades.

The first modification reduced the size of the storefront window and replaced the wood storefront windows with aluminum ones – See photo 2 below.

The second modification further reduced the storefront windows and ceramic panels were placed over the façade surrounding the corner entry and storefront windows on the façade directly adjacent to the entry (Ash & Jefferson) – See photo 3 below.



1. Historic Façade (photo early 20th century)



2. Façade (photo 1940s?)



3. Existing Façade (photo 2015)

H.W. Lawrence Block: Façade Restoration 100 E. Ash Street | Project Description

Existing Conditions



H.W. Lawrence Block: Façade Restoration 100 E. Ash Street | Project Description

Restoration Plans: **Phase 1** Phase 2 Phase 3

The façade restoration at 100 E. Ash will be a multi-year phased project due to the large scope of work and cost. The owner & design team have phased the project into the following phases:

Entry Façade Restoration Plans – See drawings on sheets A1.0 & A2.0

- **Remove ceramic panels to reveal original façade including brick & limestone masonry pilasters & decorative brick arch with transom over entry door.**
- **Replace aluminum and glass entry door with custom wood door & transom above.**
- **Infill brick removed from door surround.**
- Repair damaged/deteriorated brick & limestone masonry.
- Replace single step to entry with sloped ramp for ADA accessibility.

North Façade – See drawings on sheets A1.0 & A2.0

- **Remove ceramic panels.**
- Replace existing windows with aluminum storefront windows sized according to the original 1898 sized openings & matched to the other restored storefronts (size, style, & materials to match) in the H.W. Lawrence block as was intended in 1898.
- Repair damaged/deteriorated brick & limestone masonry.

West Façade – See drawings on sheets A1.0 & A2.1

- **Remove ceramic panels.**
- Replace existing windows with aluminum storefront windows sized according to the original 1898 sized openings & matched to the other restored storefronts (size, style, & materials to match) in the H.W. Lawrence block as was intended in 1898.
- Repair damaged/deteriorated brick & limestone masonry damaged by ceramic panels.
- Replace deteriorated brick surrounding window damaged by uplift from rusted & failing lintels.
- Replace rusted & failing lintels above windows and door.
- Replace fixed windows with double hung aluminum windows (style & material) & match to new storefront windows.
- Replace deteriorated entry door & transom with new custom wood & glass door & glass transom above.
- Replace rusted & failing lintels above windows and door.
- Repaint stair railing.

Phase 1 was unanimously approved by the Mason DDA for a Façade Grant of 50% up to \$15,000.00 on July 1, 2015.

H. W. LAWRENCE BUILDING FACADE RESTORATION 100 E. ASH MASON, MI

GENERAL PROJECT DATA

OWNER: MK&G PROPERTIES, LLC.
P.O. BOX 219
MASON, MI 48854
(517) 244-9100

ARCHITECT: SEDGEWICK & FERWEDA ARCHITECTS
410 E. COURT STREET
FLINT, MI 48503
(517) 238-9647

BUILDER: COMMUNITY BUILDING SERVICES
4505 W. COLUMBIA RD
MASON, MI 48854
(517) 604-6214

PROJECT NARRATIVE

EXISTING 2 STORY HISTORIC BUILDING

MODIFICATIONS TO INCLUDE:

- RESTORE FACADE TO ORIGINAL HISTORIC 1890S DESIGN IN ACCORDANCE WITH SECRETARY OF INTERIOR STANDARDS.
- DEMOLITION MID-CENTURY MODIFICATIONS INCLUDING CERAMIC PANELS COVERING FACADE & WALL DEMOLITION TO ENLARGE OPENING TO ACCOMMODATE 1890S STYLE WINDOW.

BUILDING DATA

BUILDING CODES: MICHIGAN REHABILITATION CODE 2012

USE GROUP: B - BUSINESS

TENANT BUILDING AREA: 1242.49 SQ. FT.
AREA OF RENOVATION: 106.97 SQ. FT.

OCCUPANCY LOAD: 50

MINIMUM REQUIRED OF MEANS OF EGRESS: 2 REQUIRED, 2 PROVIDED

CONSTRUCTION TYPE: III B & V B

FIRE PROTECTION: NONE
EXISTING FIRE EXTINGUISHERS PER CODE

SYMBOLS AND ABBREVIATIONS LEGEND

SEE MECHANICAL, PLUMBING, FIRE PROTECTION, AND ELECTRICAL DRAWINGS FOR ADDITIONAL SYMBOLS

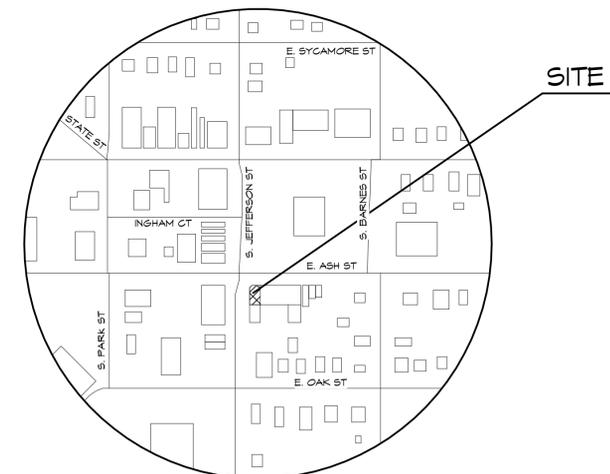
∠	AND	EX.	EXISTING
∠	ANGLE	SIM.	SIMILAR
⊕	CENTER LINE	TYP.	TYPICAL
∅	DIAMETER	N.I.C.	NOT IN CONTRACT
□	SQUARE	F.D.	FLOOR DRAIN
#	FOUND OR NUMBER	F/D	FIRE DOOR
±	PLUS OR MINUS	F/S	FLOOR SINK
PL	PLATE	D.F.	DRINKING FOUNTAIN
C/C	CENTER TO CENTER	E.P.	ELECTRICAL PANEL
O.C.	ON CENTER	C.G.	VINYL CORNER GUARD
⊙	AT	F.E.C.	FIRE EXTINGUISHER CABINET
=	EQUAL	F.E.	FIRE EXTINGUISHER
		F.H.C.	FIRE HOSE CABINET
		H.S.	HORN STROBE
		R.D.	ROOF DRAIN
		M.L.	MATCH LINE

GENERAL NOTES

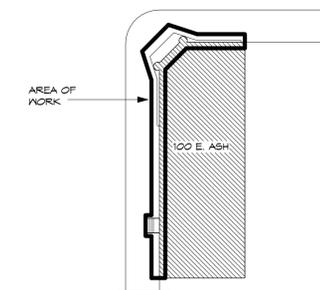
- DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO ANY WORK.
- ALL WORK SHALL CONFORM TO ALL GOVERNING CODES AND REGULATIONS.
- ALL DIMENSIONS SHALL BE FIELD VERIFIED.

KEY TO DIMENSIONING:
DIMENSIONS SHOWN ARE FROM FINISH FACE TO FINISH FACE, FINISH FACE TO COLUMN CENTERLINE, OR COLUMN CENTERLINE TO COLUMN CENTERLINE, UNLESS NOTED OTHERWISE.

SCHEDULE OF DRAWINGS					
ORDER	SHEET NO.	SHEET NAME	ISSUE DATE	CURRENT REVISION	CURRENT REVISION DATE
0	A0.0	TITLE SHEET/DRAWING INDEX	03/6/14		
1	A1.0	PLANS	03/6/14		
2	A2.0	ELEVATIONS	04/09/15		
3	A2.1	ELEVATIONS	04/09/15		
4	A2.2	CONSTRUCTION SECTIONS	04/09/15		



1 LOCATION MAP
1/4" = 1'-0"



2 KEY PLAN
3/64" = 1'-0"

SEAL OF ARCHITECT

ARCHITECT
SEDGEWICK & FERWEDA ARCHITECTS

410 East Court Street Flint, MI 48503
TEL: 810-238-9647 | FAX: 810-238-4900
www.starch.us

GOOD DESIGN. GOOD CLIENTS. GREAT ARCHITECTURE.



REVISIONS

Date	Description

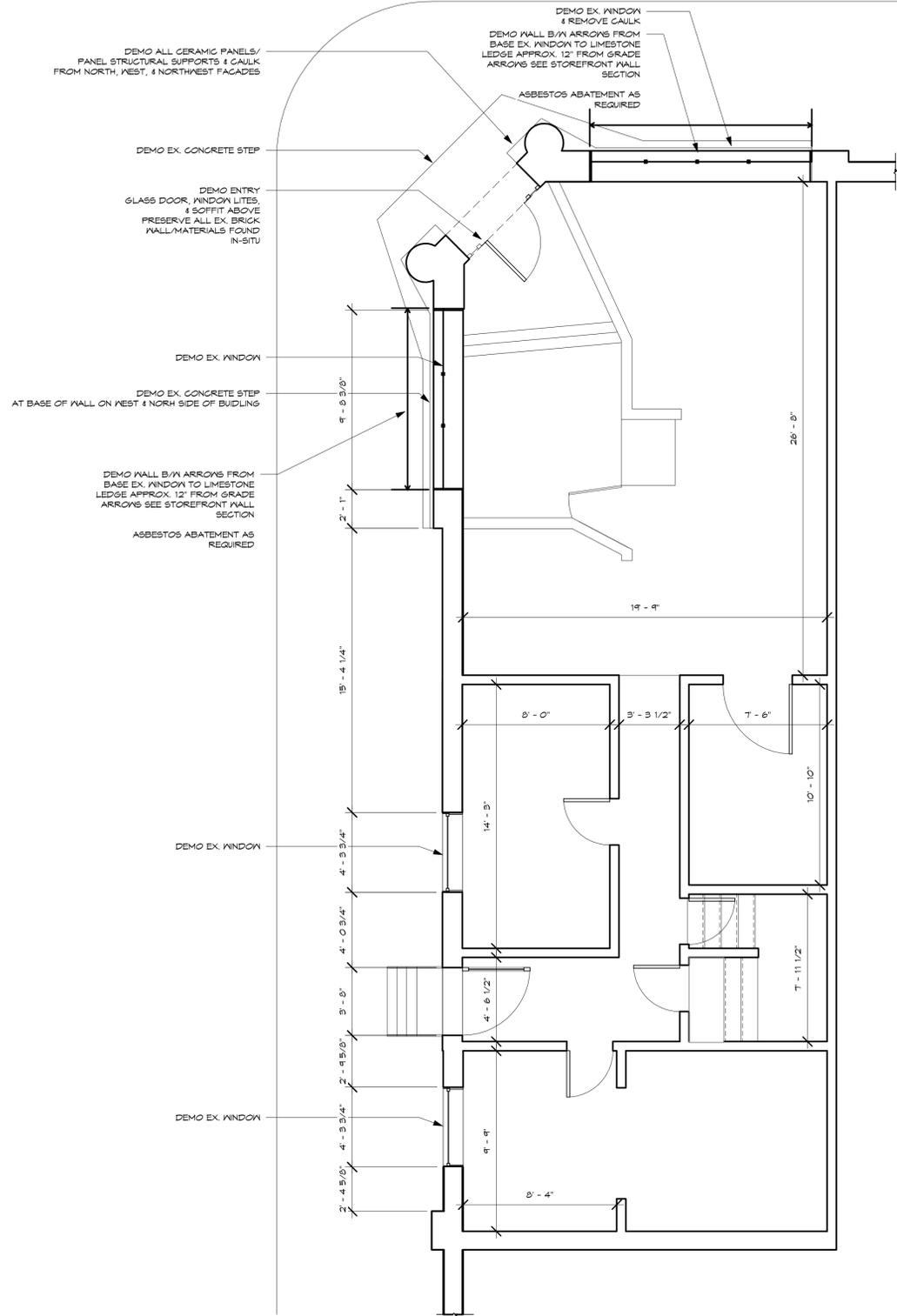
Project
**MK&G FACADE RESTORATION
100 E. ASH, MASON MI**

Drawing
TITLE SHEET/DRAWING INDEX

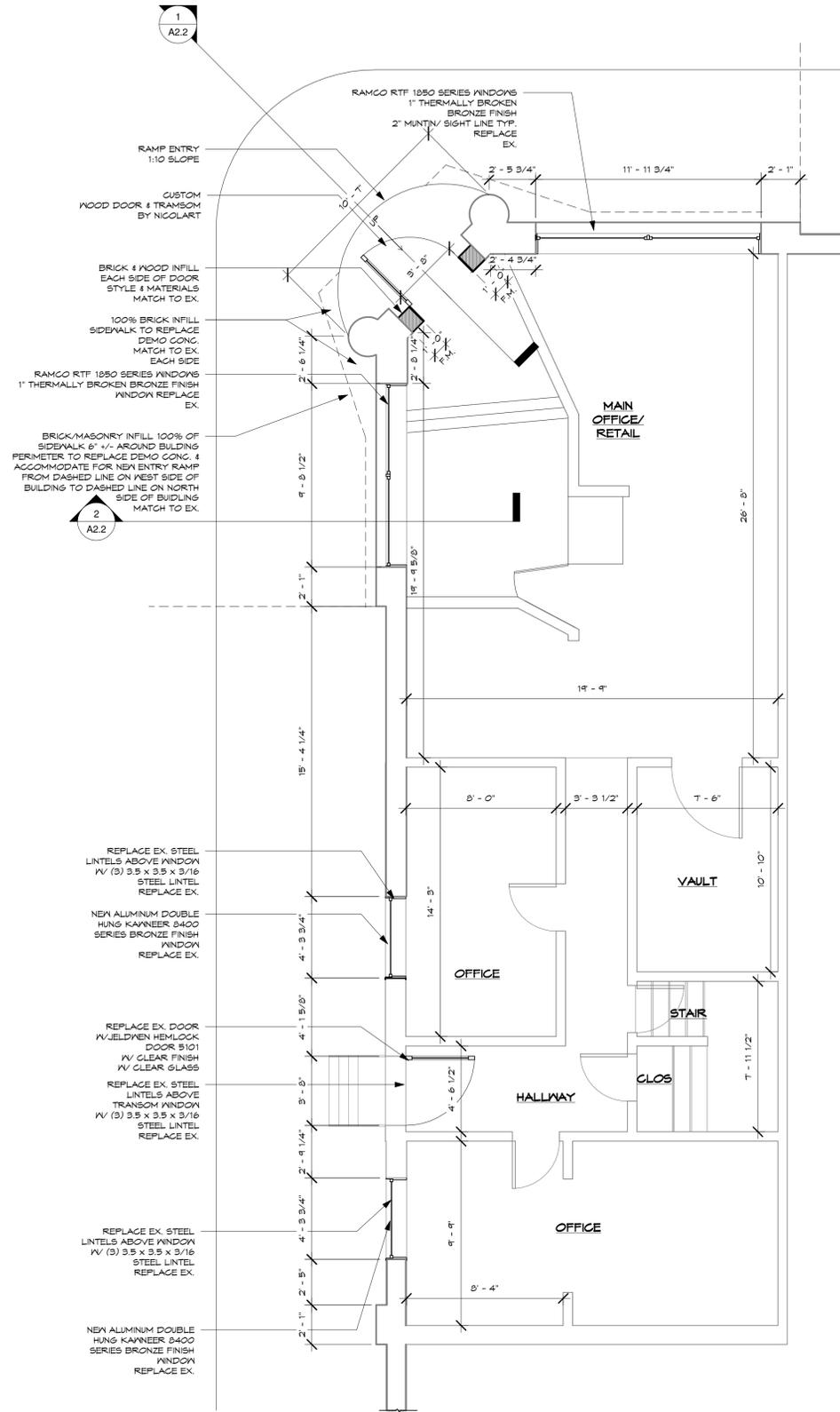
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CHECKED BY: SJS
DDA DRAWINGS
PROJECT NUMBER 15-007
DATE 05.07.2015
SCALE As indicated
SHEET NUMBER

A0.0

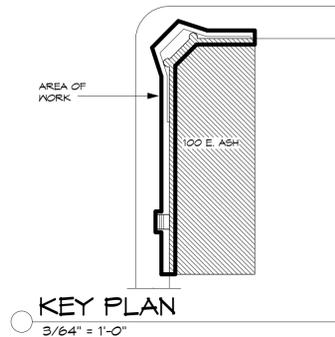
3 DEMOLITION
1/4" = 1'-0"



1 FIRST FLOOR
1/4" = 1'-0"



KEY
NEW
EXISTING



ARCHITECT
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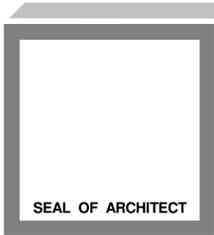


REVISIONS

Date	Description

Project
MK&G FACADE RESTORATION
100 E. ASH, MASON MI
Drawing
PLANS

DRAWN BY: AHS
CHECKED BY: SJS
DDA DRAWINGS
PROJECT NUMBER 15-007
DATE 05.07.2015
SCALE As indicated
SHEET NUMBER
A1.0



ARCHITECT
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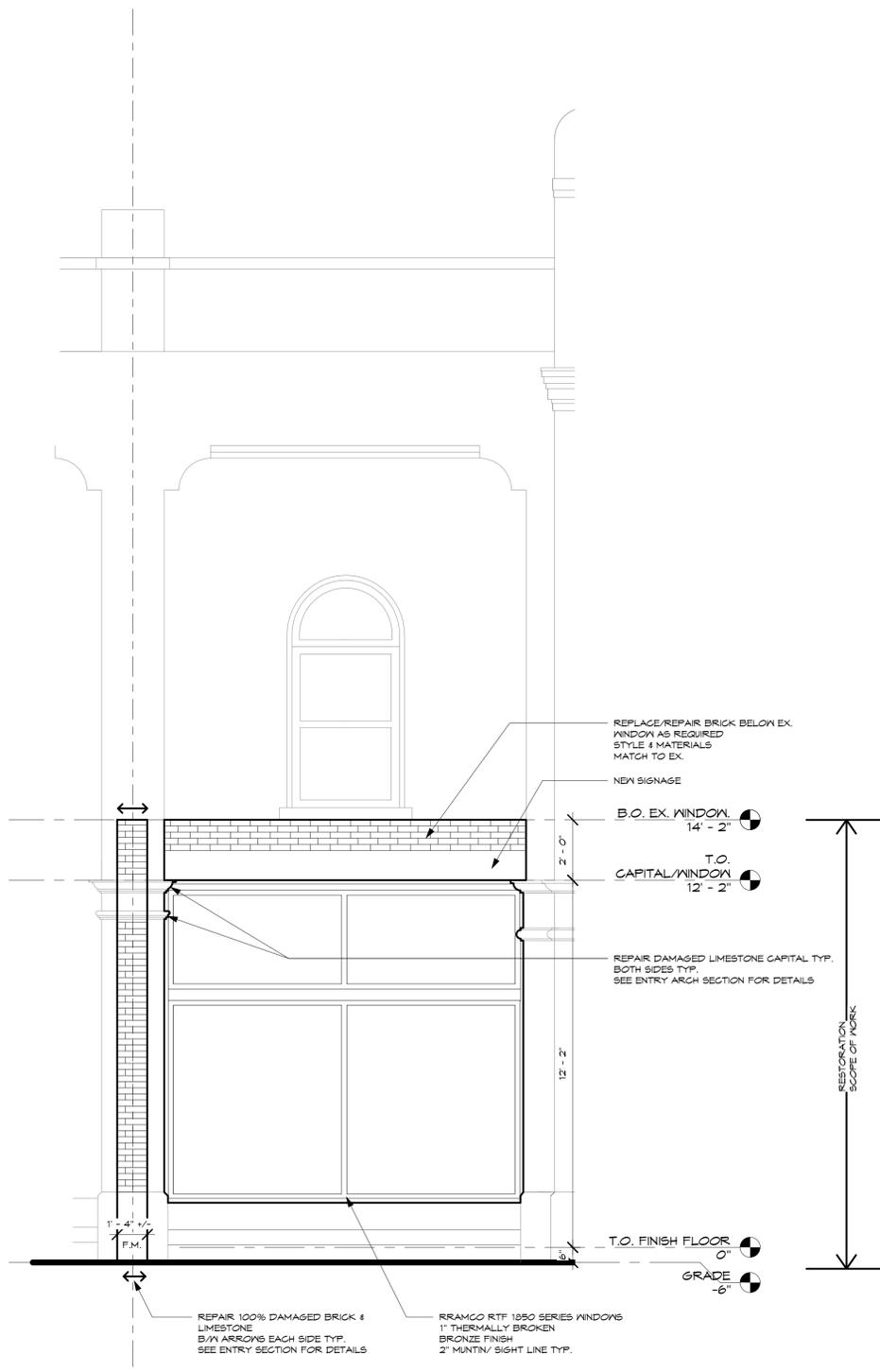


REVISIONS	
Date	Description

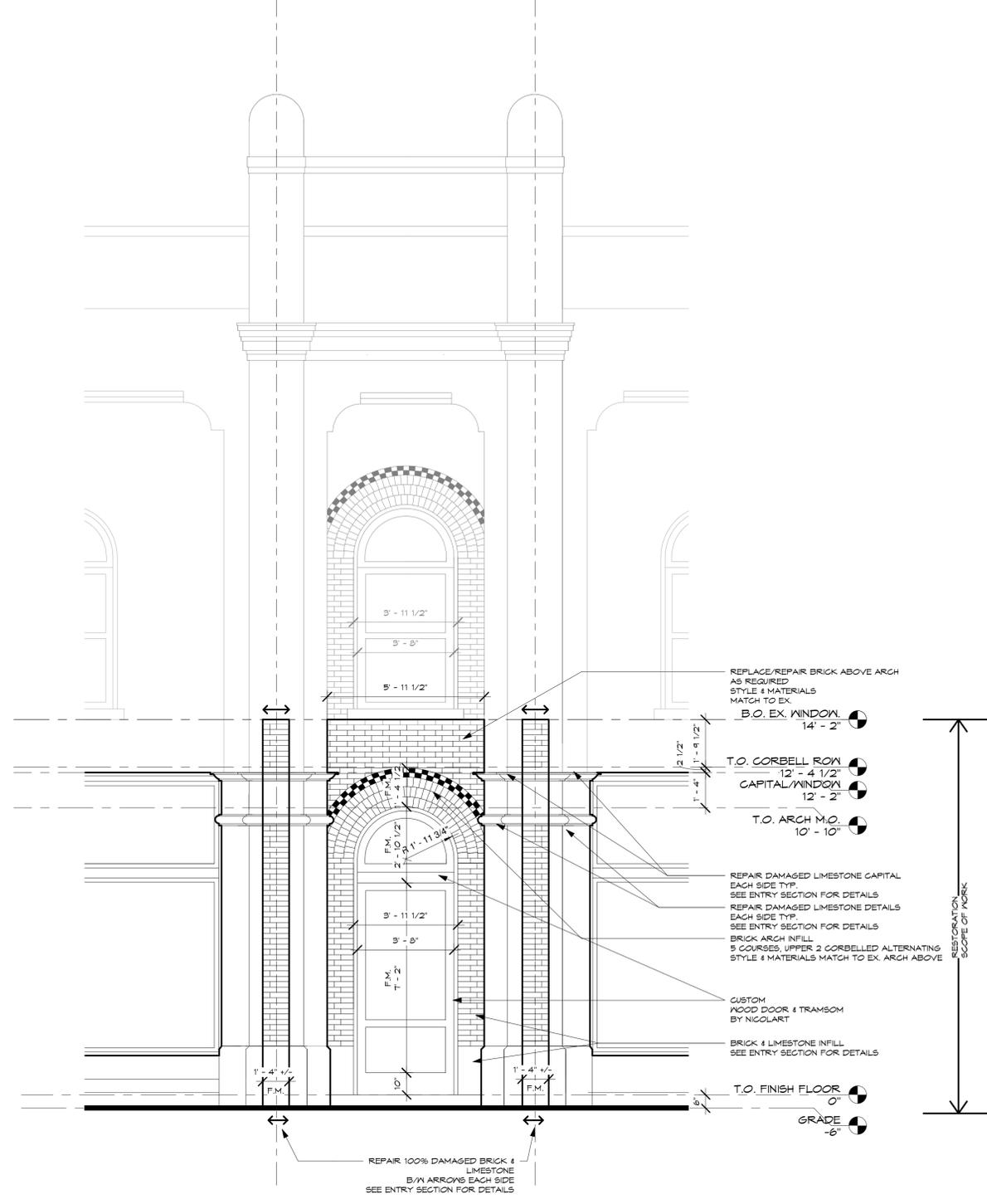
Project
MK&G FACADE RESTORATION
100 E. ASH, MASON MI

Drawing
ELEVATIONS

DRAWN BY:	AHS
CHECKED BY:	SJS
DDA DRAWINGS	
PROJECT NUMBER	15-007
DATE	05.07.2015
SCALE	As indicated
SHEET NUMBER	A2.0

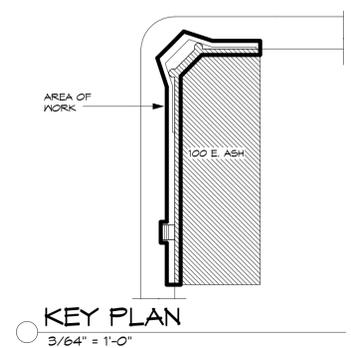


1 NORTH ELEVATION
3/8" = 1'-0"

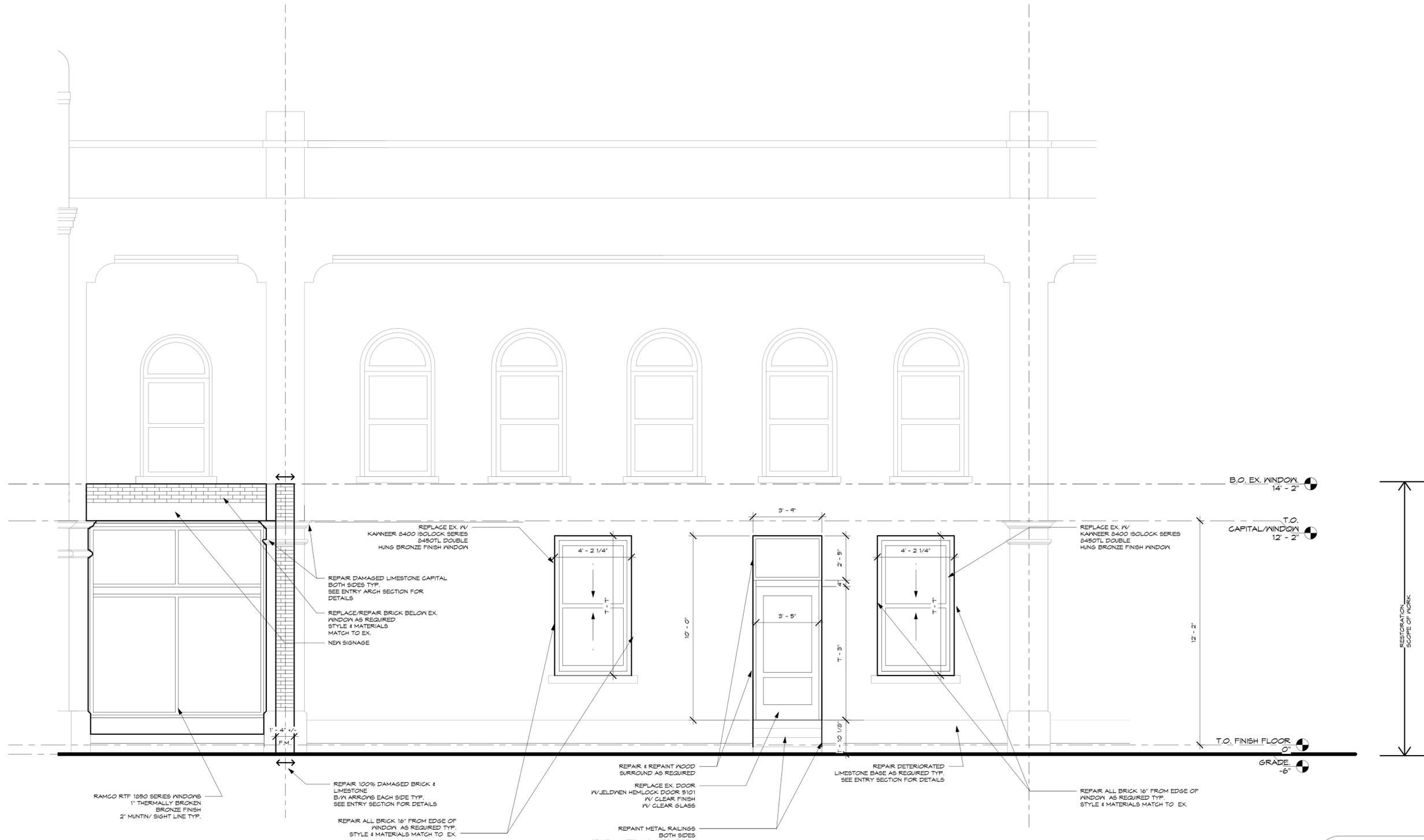


2 NORTHWEST ELEVATION
3/8" = 1'-0"

KEY
NEW
EXISTING

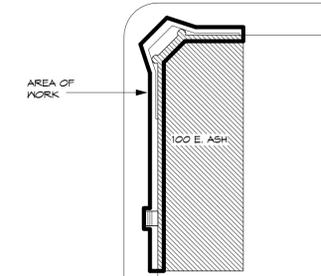


KEY PLAN
3/64" = 1'-0"



WEST ELEVATION
3/8" = 1'-0"

KEY
NEW
EXISTING



KEY PLAN
3/64" = 1'-0"



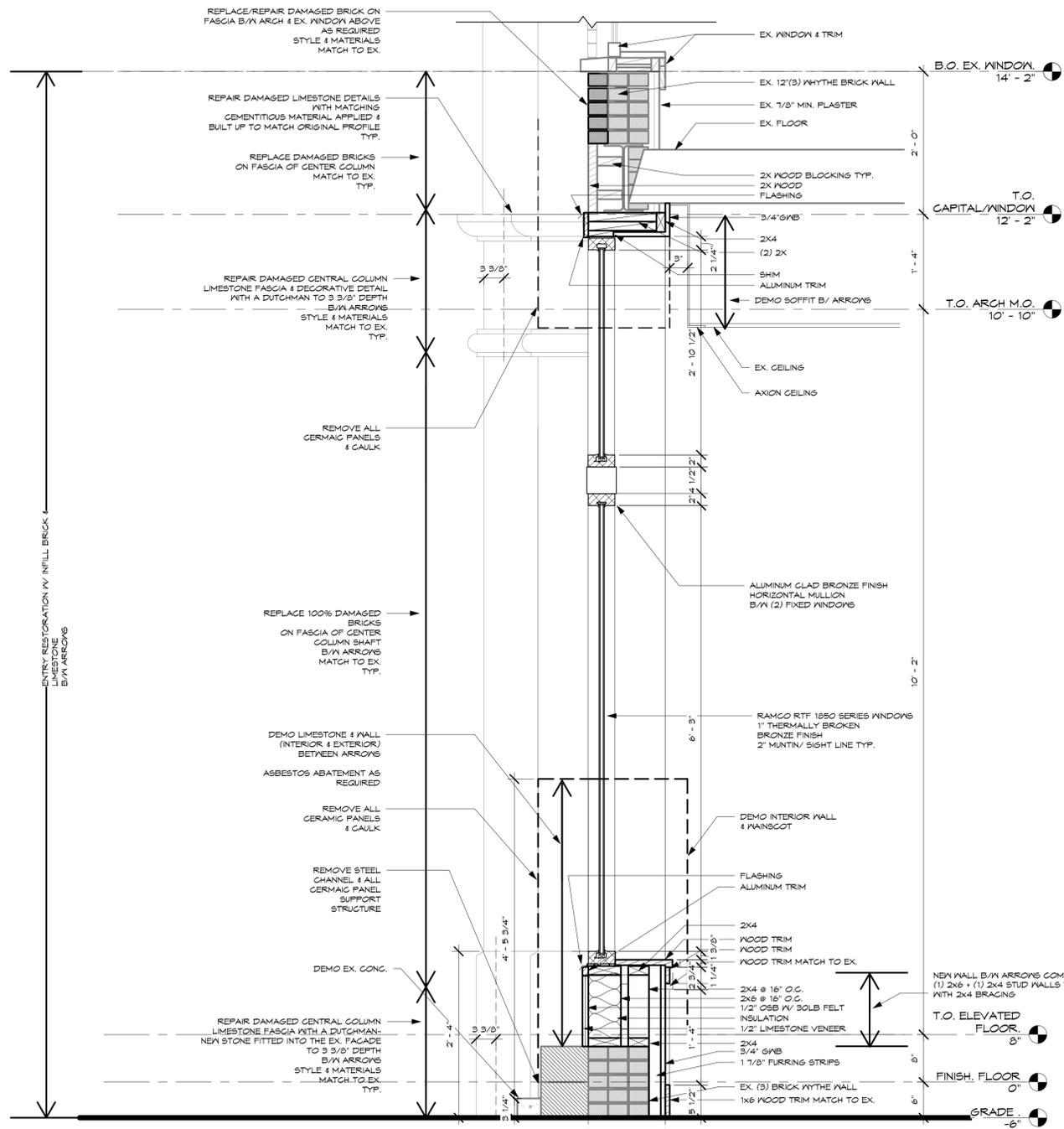
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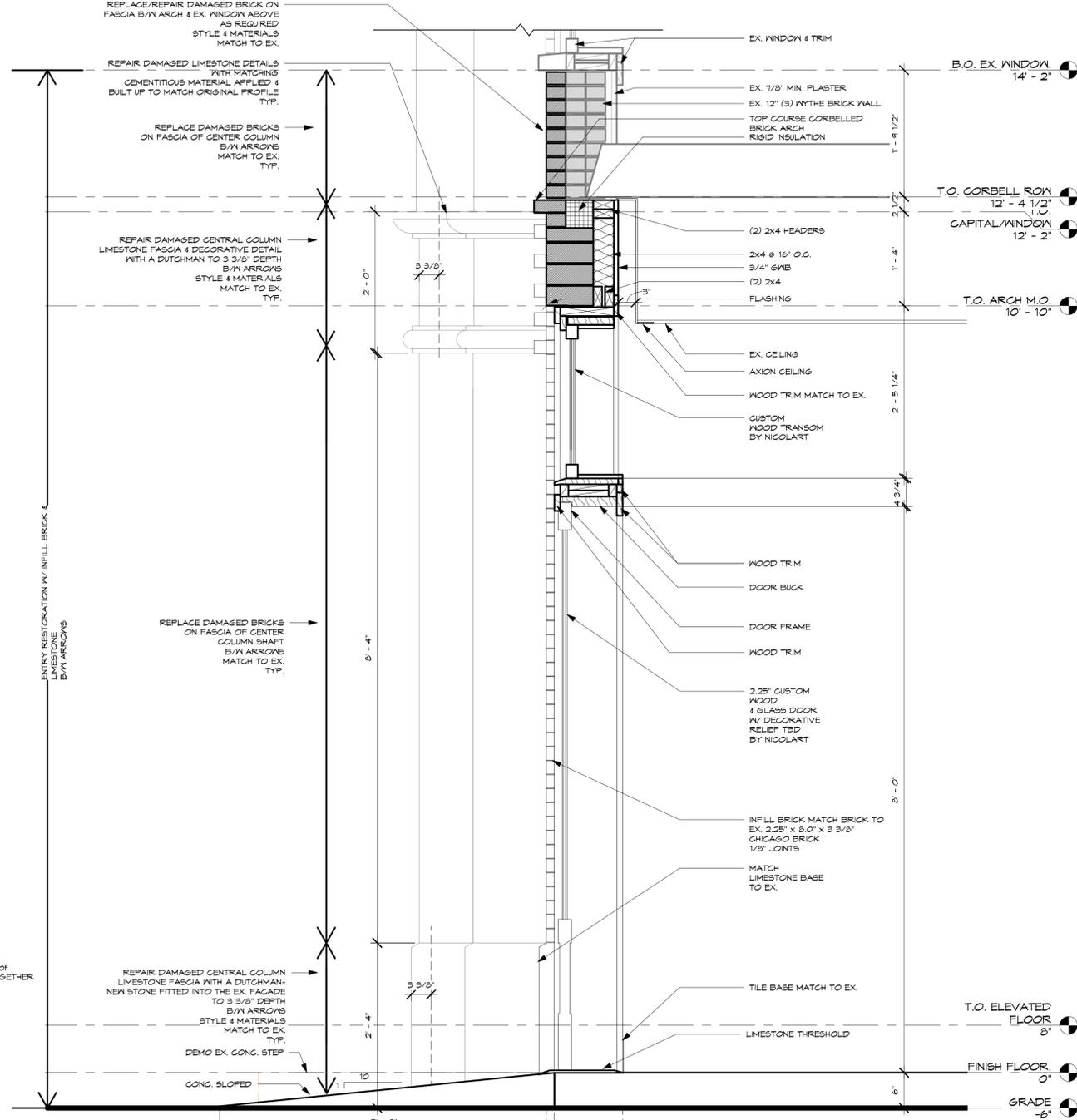
REVISIONS	
Date	Description

Project
MK&G FACADE RESTORATION
100 E. ASH, MASON MI
Drawing
ELEVATIONS

DRAWN BY: AHS
CHECKED BY: SJS
DDA DRAWINGS
PROJECT NUMBER 15-007
DATE 05.07.2015
SCALE As indicated
SHEET NUMBER
A2.1



2 TYPICAL WALL SECTION
1" = 1'-0"



1 ENTRY ARCH WALL SECTION
1" = 1'-0"

KEY

NEW	—
EXISTING	—
DEMO	- -
DUTCHMAN	- -

GENERAL NOTES:

LIMESTONE RESTORATION

- Source of Material: Obtain materials for stone restoration from a single source for each type of material required, to ensure match of quality, color, pattern, and texture.
- Environmental Requirements: Perform work only in dry and otherwise favorable weather conditions. Protect repaired masonry against freezing or excessively rapid drying for at least 48 hours after being laid; no masonry shall be laid when temperature is below 32 F on a rising thermometer or below 40 F on a falling thermometer.
- Polymer Admixture (for Setting Dutchman) such as "Laticrete 3101 or 4237 Grout and Mortar Admixture" (Laticrete International, Inc.), or approved equal.

D. Metal attachments for setting stone Dutchman:

- All wire, pins, anchors, and bars shall be stainless steel, Type 302 and 304.
- Provide anchors as follows:
 - 1/8" diameter round stock, stainless steel wire with turned-up ends for small veneers.
 - 1/4" or 3/8" diameter round stock, stainless steel rod for direct pinning and drop dowels.
 - 1" wide, 1/8" thick, stainless steel, flat strap anchors for larger panels.
- The quantity of individual attachments shall not be less than two attachments for small dutchman, and one attachment every two square feet for larger panels.
- All attachments shall be fastened by mechanical locking, in addition to appropriate adhesives and mortars.

E. Adhesives for attaching anchors and for direct pinning:

Where permitted, anchors may be held in place with high modulus, high strength, moisture insensitive, epoxy adhesive. Adhesive shall be two-component, 100% solids, epoxy resin system with a viscosity similar to petroleum jelly "Sikadur 31 Hi-Mod Gel" (Sika Corporation), or approved equal.

F. Pigments for altering the color of cement: All pigments shall be alkali proof, non-fading, and of synthetic iron oxides.

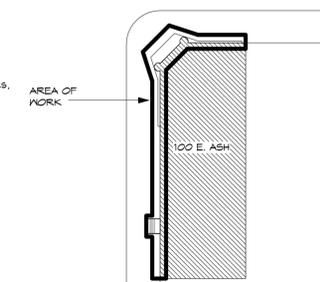
G. Water: Clean and free of amounts of oils, acids, alkalies, salts, organic materials, or other substances that may be deleterious to mortar or any metal in the wall.

BRICK RESTORATION

A. All new brick match to existing CHICAGO BRICK sized 2.25" x 8.0" x 3 3/8" w/ 1/8" joints

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KEY PLAN
3/64" = 1'-0"



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REVISIONS

Date	Description

Project
MK&G FACADE RESTORATION
100 E. ASH, MASON MI
Drawing
CONSTRUCTION SECTIONS

DRAWN BY: AHS
CHECKED BY: SJS
DDA DRAWINGS
PROJECT NUMBER 15-007
DATE 05.07.2015
SCALE As indicated
SHEET NUMBER
A2.2